



**CHARLOTTE HISTORIC DISTRICT COMMISSION**

**CERTIFICATE OF APPROPRIATENESS - Amended**

**CERTIFICATE NUMBER:** 2017-00417

**DATE:** January 10, 2018

March 20, 2018 – AMENDED

June 22, 2018 – AMENDED

**ADDRESS OF PROPERTY:** 901 East Worthington Avenue

**TAX PARCEL NUMBER:** 12108101

**HISTORIC DISTRICT:** Dilworth

**APPLICANT/OWNER:** John Fryday/Nick Zalecki

**DETAILS OF APPROVED PROJECT:** The project is the construction of a single family house and detached garage. The proposed front setback is 30 feet from the right of way to the front porch. Front porch depth is 8 feet. Side and rear yards setbacks are noted on the site plan. Total height is +/-29'-4". Materials include wood lap siding with mitered corners, wood shake siding in the dormers, and brick foundation and porch piers. Windows are wood Simulated True Divided Light (STD L), window sizes and trim are noted on the detail plan sheets. The detached garage materials and details match the house, the height is +/- 22'. Garage height cannot exceed 24 feet. Access to the detached garage is from the alley easement from Park Road. New trees will be planted to replace those removed. The project was approved by the HDC October 11, 2017. See attached amended plans.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

**This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.**

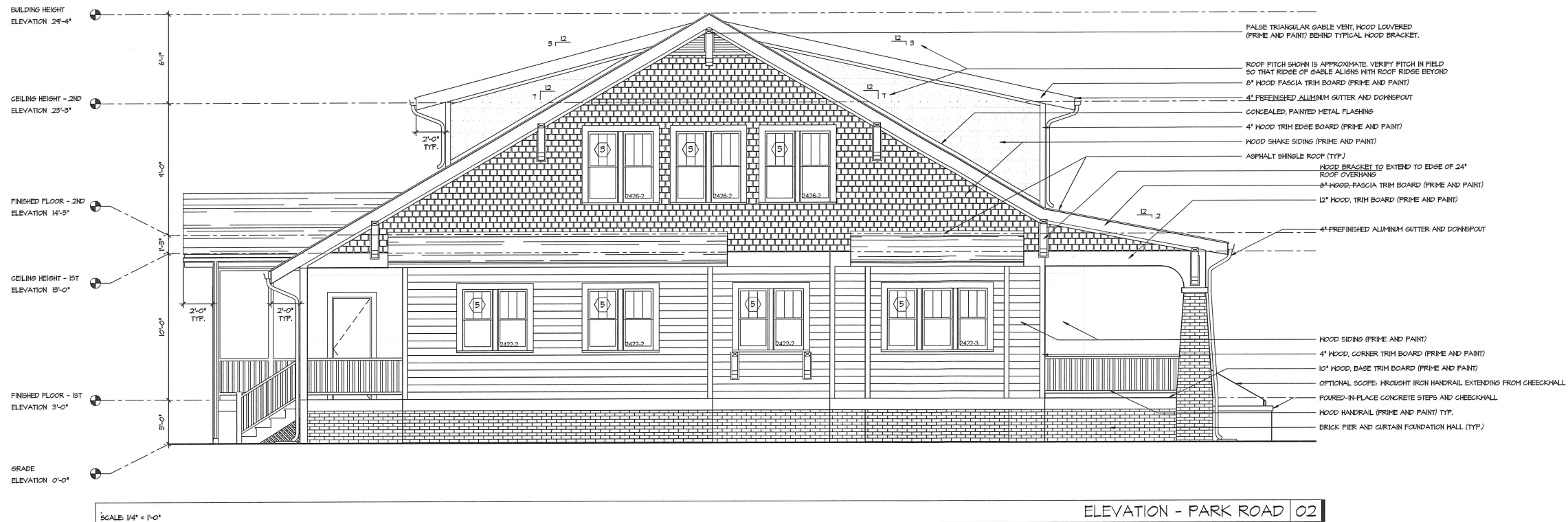
Chairman

CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT

Staff

[www.charlotteplanning.org](http://www.charlotteplanning.org)

600 East Fourth Street  
Charlotte, NC 28202-2853  
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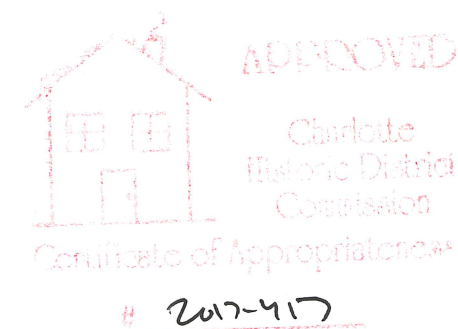


ELEVATION - PARK ROAD 02

Note: Lap siding will have mitered corners instead of cornerboards on both the house and garage.



ELEVATION - E. WORTHINGTON AVE 01



**FRYDAY & DOYNE**  
ARCHITECTURE  
INTERIOR DESIGN  
1101 E. WORTHINGTON AVENUE  
SUITE 100  
CHARLOTTE, NC 28203  
704.375.5875  
www.frydaydoyne.com

DATE: 11/15/2017  
ISSUED FOR: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_  
DRAWN BY: SHS

PROJECT NAME:  
ZALECKI PROPERTY  
401 E. WORTHINGTON AVENUE  
CHARLOTTE, NC 28203

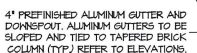
SHEET TITLE:  
ELEVATIONS

SHEET NUMBER:  
A5.1



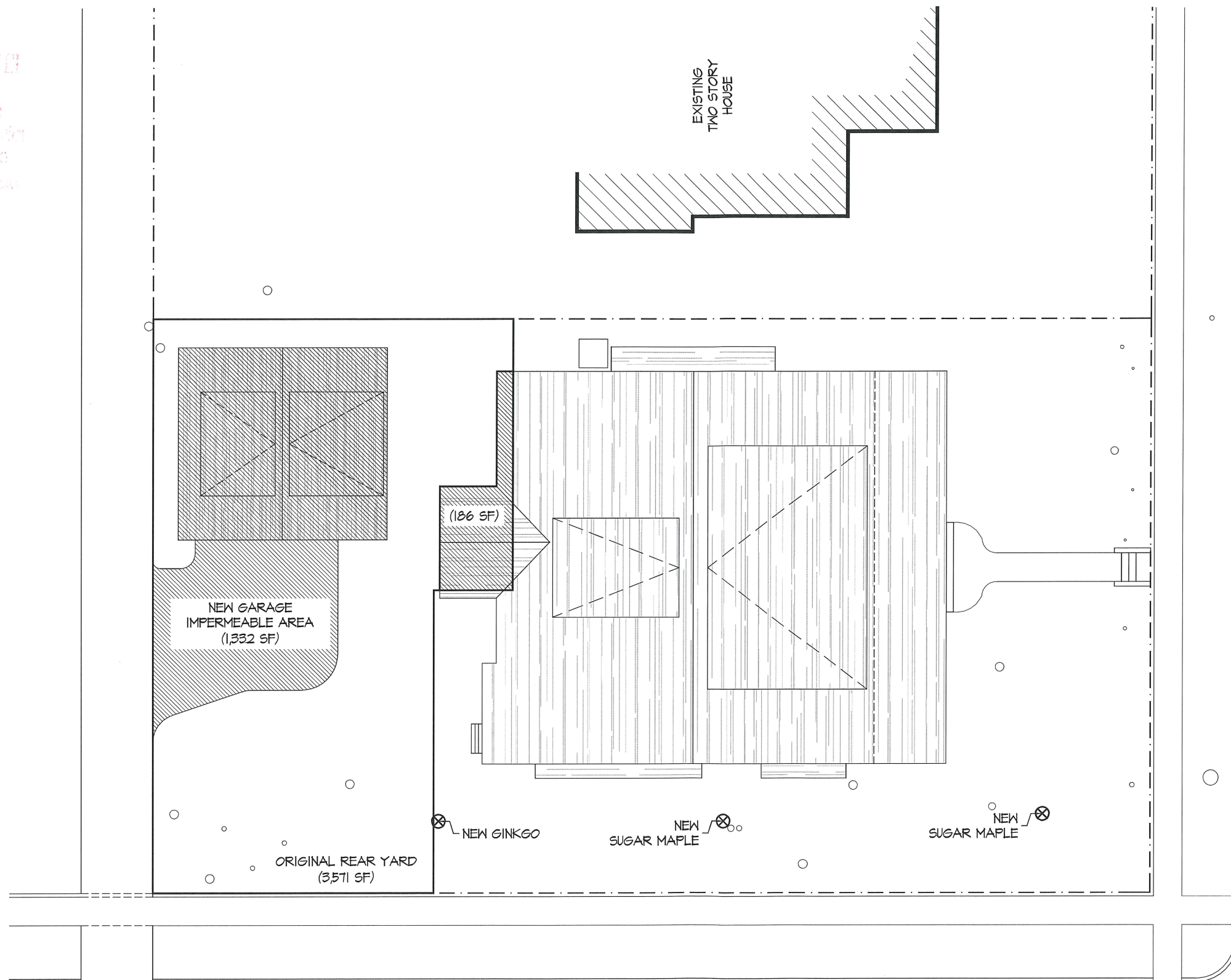
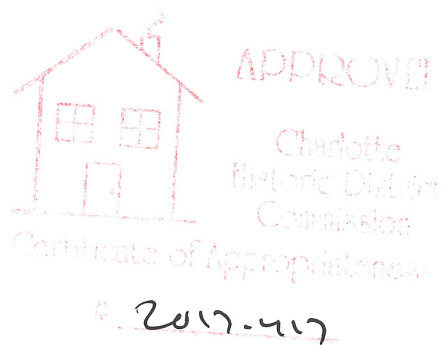






ROOF PLAN	01
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TOTAL PERMEABILITY CALCULATION =  
1,518 SF / 3,571 SF = 43% IMPERMEABLE SURFACE

PARK ROAD

NORTHINGTON AVENUE

SCALE: 1/16" = 1'-0"

SITE SURVEY - PERMEABILITY PLAN 01

**FRYDAY & DOYNE**  
ARCHITECTS • INTERIOR DESIGN  
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Suite 20  
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PROJECT NAME:

**ZALECKI PROPERTY  
901 E. NORTHINGTON AVE  
CHARLOTTE, NC 28203**

DATE: 10-02-2017  
ISSUED FOR:  
HDC REVIEW

REVISIONS:


DRAWN BY: SMG

SHEET TITLE:

SHEET NUMBER:

**HDC-21**



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901 E. WORTHINGTON AVE  
CHARLOTTE, NC 28203**

DATE: 10-02-2017

ISSUED FOR:

HDC REVIEW

REVISIONS:

DRAWN BY: SMG

SHEET TITLE:

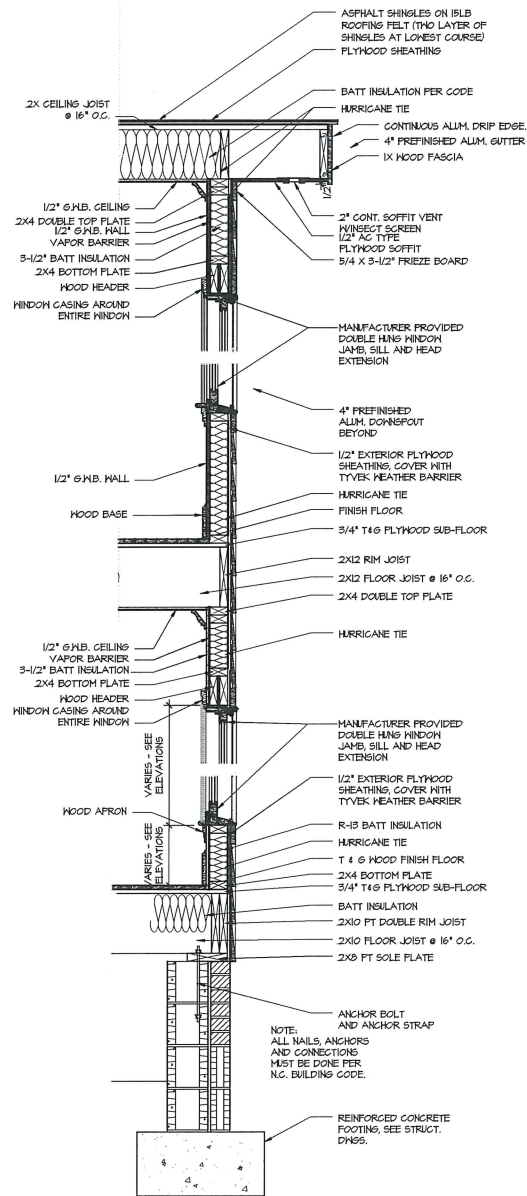
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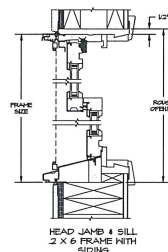
# 2017-417



SCALE: 3/4" = 1'-0" WALL SECTION (REFER TO STRUCT. DWGS) 04

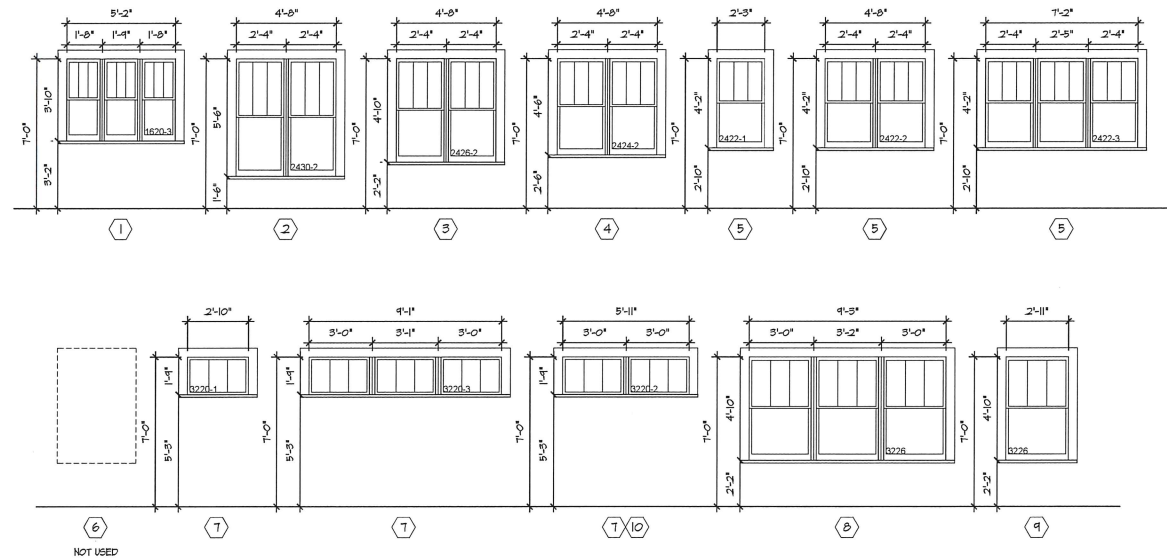
REFLECTED CEILING PLAN LEGEND	
	RECESSED, 4" CAN DOWN LIGHTS (TYPE A, TYP. UNLESS OTHERWISE NOTED)
	PENDANT LIGHT FIXTURE
	LED UNDERCABINET LIGHT STRIP - MALL SWITCHED
	LED COVE LIGHT STRIP @ CEILING - CONCEALED
	EXHAUST FANLIGHT COMBINATION (PANASONIC WHISPER QUIET)
	JUNCTION BOX FOR WALL FIXTURE (OWNER SELECTED)
	JUNCTION BOX FOR CEILING FIXTURE (OWNER SELECTED)
	SMOKE DETECTOR
	4" FLUORESCENT FIXTURE (2 LAMP) WITH PLASTIC OPAL LENS COVER
	2" FLUORESCENT FIXTURE (2 LAMP) WITH PLASTIC OPAL LENS COVER
	DECORATIVE WALL SCONCE - OWNER SELECTED
	DECORATIVE WALL SCONCE, EXTERIOR LOCATION - OWNER SELECTED
	3 WAY SWITCH
	4 WAY SWITCH
	WALL SWITCH
	PROVIDE LUTRON DIVA FAN CONTROL SWITCH FOR ALL FAN LOCATIONS. PROVIDE SEPARATE LIGHT ON/OFF LUTRON "DIVA" SWITCH.
	DUPLEX RECEPTACLE IS AMP, 120 VOLT (USE 20 AMP FOR SINGLE RECEPTACLE ON A CIRCUIT). HUBBELL 5252, OR EQUAL.
	DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER BACKSPLASH, MOUNT HORIZONTAL IN BACKSPLASH.
	QUAD RECEPTACLE, TWO NEMA 5-15R DUPLEX RECEPTACLES.
	SINGLE SPECIAL PURPOSE RECEPTACLE OUTLET
	GROUND FAULT RECEPTACLE, NEMA 5-15R DUPLEX.
	WEATHERPROOF RECEPTACLE, NEMA 5-15R DUPLEX.
	RECESSED NIGHT LIGHT @ 16" A.F.F.
	"J-B" BOX AND SUPPORT FOR CEILING FAN - OWNER SELECTED, CENTER IN ROOM UNO.
	HVAC SUPPLY DIFFUSER GRILL

- NOTES:
1. ALL NEW LIGHT CIRCUITS TO BE ON DIMMERS. (DIMMER-CONTINUOUS TOGGLE OR TOGGLE W/ SLIDE DIMMER)
  2. EXTERIOR FIXTURES MUST BE UL LISTED FOR DAMP LOCATIONS.
  3. GANG SWITCHES TOGETHER AS MUCH AS POSSIBLE.
  4. REVIEW ALL SWITCH AND OUTLET LOCATIONS WITH OWNER DURING ROUGH IN.
  5. ALL RECESSED CEILING FIXTURES ARE TO BE TYPE A UNLESS OTHERWISE INDICATED.
  6. ALL LIGHTS SHALL BE ON LUTRON DIVA DIMMERS. LOCATIONS OF SWITCHES SHALL BE AS DETERMINED BY THE OWNER.
  7. ALL CEILINGS SHALL BE 1/2" THICK GYPSUM HALLBOARD. CEILING HALLBOARD SHALL BE SCREWED IN AT NOT MORE THAN 8" INCHES ON CENTER.
  8. PRIME AND PAINT ALL CEILINGS.

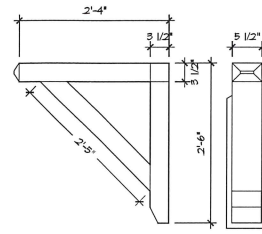


SCALE: 1 1/2" = 1'-0" TYP. WINDOW DETAIL 03

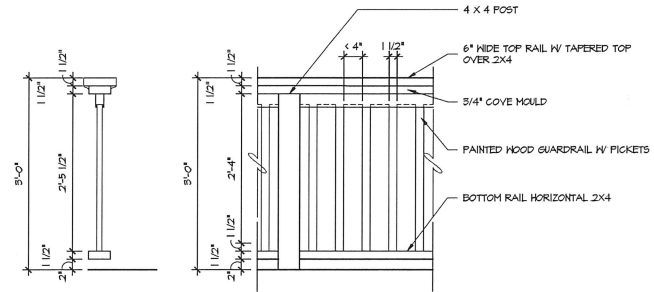
- GENERAL NOTES
1. ALL FOUNDATION DIMENSIONS ARE TO THE FACE OF BLOCK.
  2. PORCH FOUNDATIONS TO BE PIER AND CURTAIN.
  3. FACE OF STUD TO ALIGN WITH FACE OF BRICK UNO.
  4. HARDWOOD FLOORS THROUGHOUT HOME UNO.
  5. PORCH TO BE WOOD DECKING.
  6. FRONT STEPS TO BE POURED-IN-PLACE CONCRETE.
  7. BEAD-BOARD FINISH ON PORCH CEILING.
  8. PORCH COLUMNS TO BE SQUARE TAPERED BRICK - SEE ELEVATIONS.
  9. ALL WINDOWS TO BE WINDSOR DOUBLE HUNG FINNACLE SERIES ALUMINUM GLAD EXTERIOR AND FINNACLE WOOD INTERIOR, EXTERIOR PLAZA STYLE GRILLE 1/8".
  10. MAIN ROOF PITCH TO BE 12:12 UNO.
  11. DORMER ROOF PITCH TO BE 12:12 UNO.
  12. PORCH ROOF PITCH TO BE GREATER THAN 12:12.
  13. ALL PITCHES LESS THAN 4:12 TO HAVE DOUBLE FELT AND SNOW ICE GUARD.
  14. PIER LOCATIONS TO BE ESTABLISHED BY STRUCTURAL ENGINEER.
  15. TEMPERED GLASS IS TO BE INSTALLED PER NORTH CAROLINA RESIDENTIAL BUILDING CODE. AREAS REQUIRING TEMPERED GLASS INCLUDE: GLASS IN ANY DOOR, DOOR SIDELITES, GLASS IN ANY SHOWER OR BATHUB AREA WHERE THE GLASS IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN OUTLET.
  16. ALL BEDROOMS ARE TO HAVE A MINIMUM OF ONE WINDOW THAT MEETS REQUIREMENTS FOR WINDOW EGRESS. EGRESS WINDOWS ARE TO MEET NORTH CAROLINA RESIDENTIAL BUILDING CODE. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24". THE NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20".



SCALE: 1/4" = 1'-0" WINDOW SCHEDULE 05



SCALE: 3/4" = 1'-0" TYP. BRACKET DETAIL 02



SCALE: 3/4" = 1'-0" TYP. HANDRAIL DETAIL 01

DOOR SCHEDULE	
(A) 60" X 8'-0"	2 PANEL SLIDING GLASS POCKETING DOOR, EXTERIOR
(B) 36" X 8'-0"	OWNER SELECTED EXTERIOR DOOR UNIT
(C) 36" X 7'-0"	OWNER SELECTED EXTERIOR DOOR
(D) 36" X 7'-0"	3 PANEL INTERIOR DOOR
(E) 32" X 7'-0"	3 PANEL INTERIOR DOOR
(F) 28" X 7'-0"	3 PANEL INTERIOR DOOR
(G) 28" X 3'-6"	INTERIOR ATTIC DOOR
(H) 24" X 7'-0"	3 PANEL INTERIOR DOOR
(J) 36" X 7'-0"	INTERIOR POCKET DOOR
(K) (2) 18" X 7'-0"	PAIRED POCKET DOOR

- DOOR SCHEDULE NOTES:
1. ALL INTERIOR DOORS SHALL BE PAINT GRADE MDF DOORS, PRIME AND PAINT.
  2. EXTERIOR DOORS TO RECEIVE ONE COAT OF PRIMER, TWO COATS OF ALKYD ENAMEL, COLOR SELECTED BY OWNER UNO.
  3. INTERIOR DOORS TO BE PAINTED WITH ONE COAT PRIMER, TWO COATS LATEX SEMI-GLOSS, COLOR SELECTED BY OWNER UNO.
  4. TEMPERED GLASS IS TO BE INSTALLED PER NORTH CAROLINA RESIDENTIAL BUILDING CODE IN ANY DOOR, OR DOOR SIDELITES.
  5. ATTIC ACCESS DOORS TO BE HEATHERSTRIPPED AND INSULATE TO R-5 PER NORTH CAROLINA RESIDENTIAL BUILDING CODE.

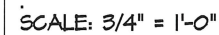
DATE: 11/15/2017  
ISSUED FOR:  
REVISIONS:  
DRAWN BY: SMS

PROJECT NAME:  
ZALECKI PROPERTY  
401 E. WORTHINGTON AVENUE  
CHARLOTTE, NC 28203

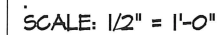
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DETAILS

SHEET NUMBER:  
A4.1

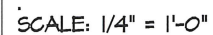
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REGISTERED ARCHITECTURAL CORPORATION  
CERT. NO. 50879  
NORTH CAROLINA  
CHARLOTTE, N.C.  
JOHN B. FRYDAY  
REGISTERED ARCHITECT  
3678  
N. WORTHINGTON AVENUE  
CHARLOTTE, N.C. 28203  
11/15/2017  
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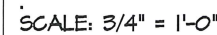
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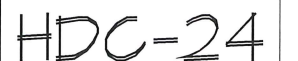
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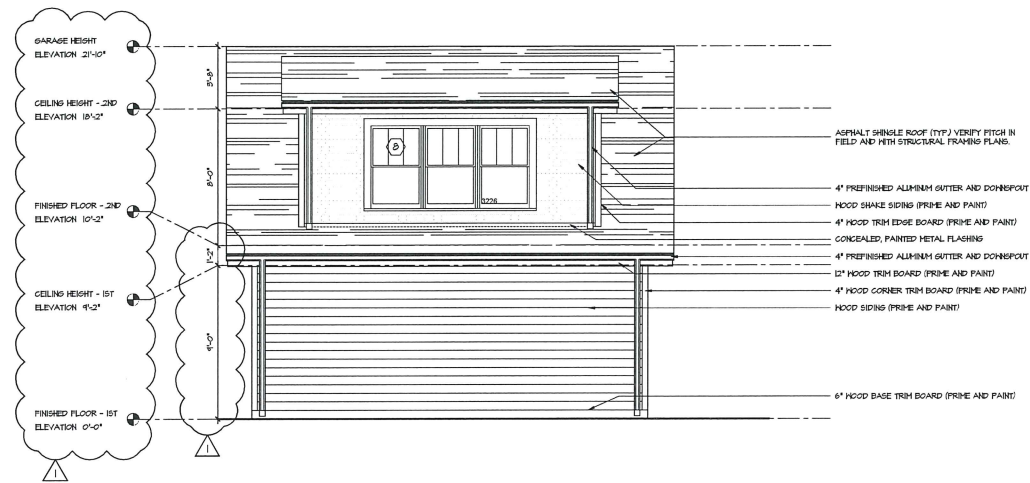
02



01

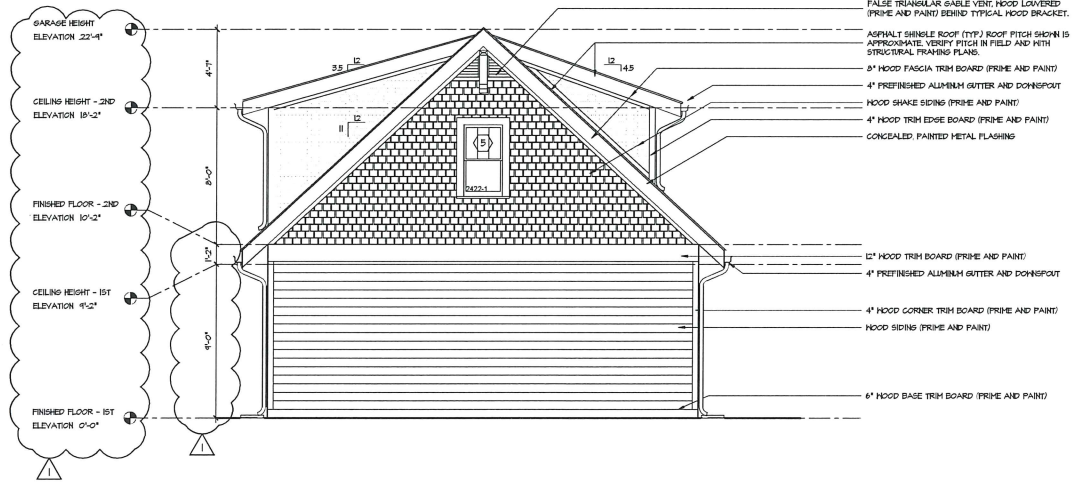






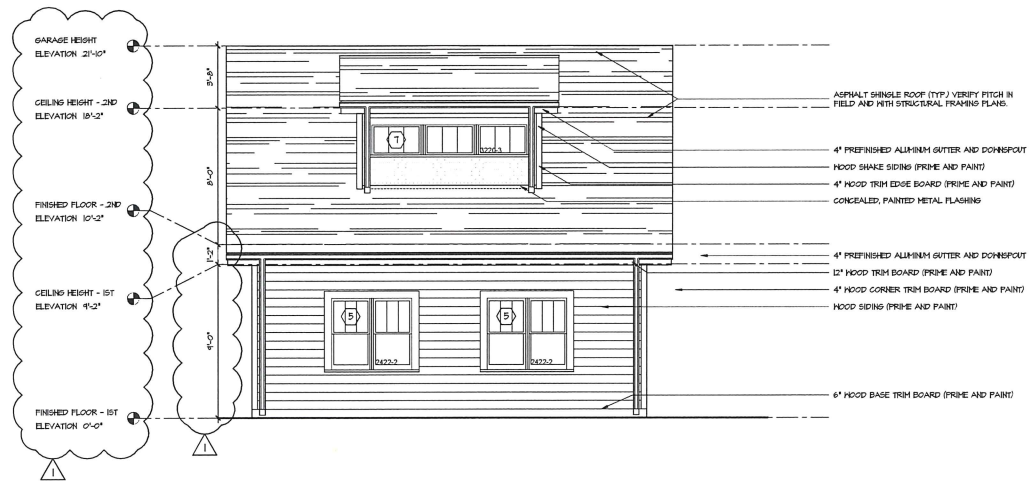
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GARAGE - ELEVATION 04



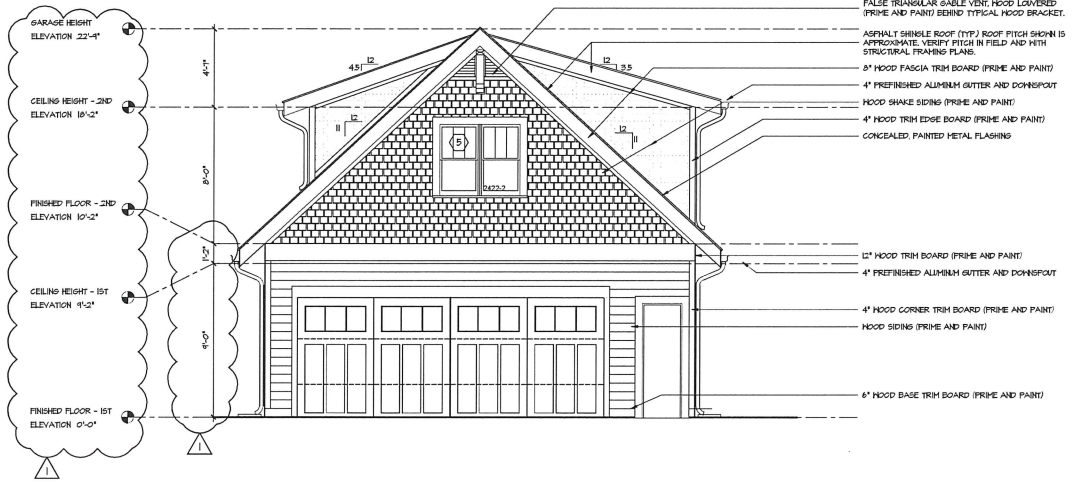
SCALE: 1/4" = 1'-0"

GARAGE - ELEVATION 03



SCALE: 1/4" = 1'-0"

GARAGE - EASEMENT ELEVATION 02



SCALE: 1/4" = 1'-0"

GARAGE - PARK ROAD ELEVATION 01

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FRYDAY & DOYNE, INC.  
CERT. NO. 50879  
A NORTH CAROLINA COMPANY  
CHARLOTTE, N.C.

JOHN B. FRYDAY  
REGISTERED ARCHITECT  
No. 3571  
Exp. 12/31/2018  
CHARLOTTE, N.C.

01/05/2018

PROJECT NAME:  
ZALECKI PROPERTY  
901 E. NORTHINGTON AVENUE  
CHARLOTTE, NC 28203

DATE: 01/05/2018  
DESIGNED FOR:  
REVISION:  
REV. 1 - GARAGE ST. REDUCTION - 01/05/18

SHEET TITLE:  
GARAGE ELEVATIONS

SHEET NUMBER:  
A6.2

DRAWN BY: SHS